



The Soulard Renaissance

"The Neighborhood Magazine of Historic Soulard"

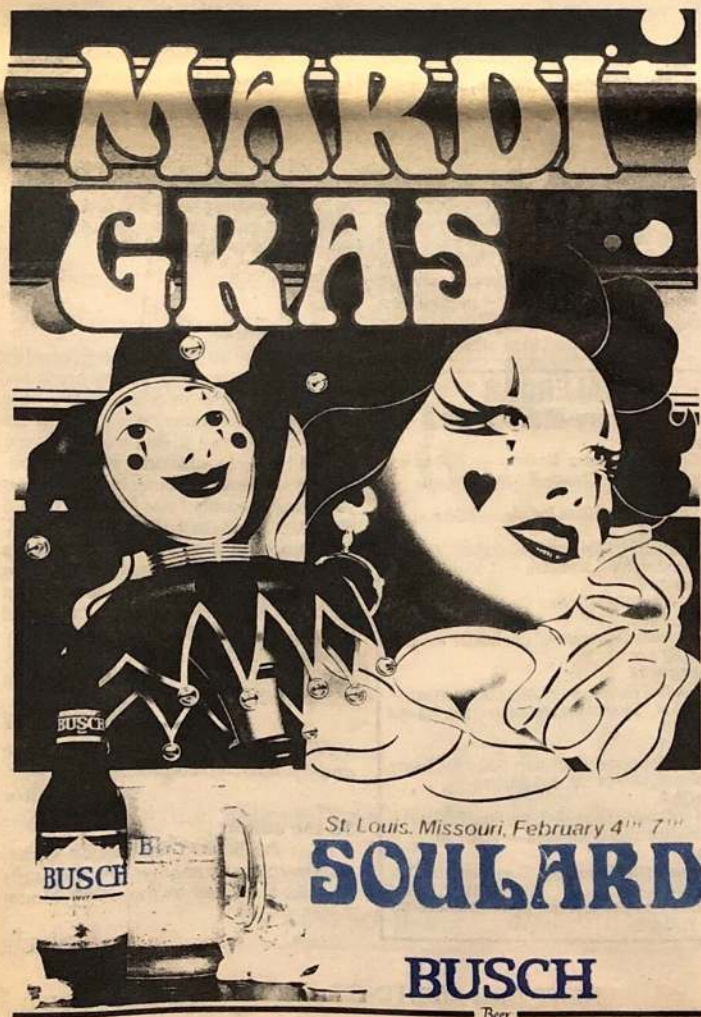
Volume XIV, Issue I

Soulard Mardi Gras 1989

Mardi Gras—1989

Festival of Faces

February 3-7



Do the mid-winter doldrums have you down? Need an antidote for those post-Christmas blues? Just need something to do?

If you can answer yes to any of these questions, the Doctor suggests that you attend the 10th Annual Soulard Mardi Gras celebration.

The theme for this year's Mardi Gras is "Festival of Faces." The festivities will run from Friday, February 3 through Fat Tuesday, February 7, 1989.

Activities this year include music, food, drink, and various entertainments for the entire family, including a parade!

Schedule for week-end events;

Friday, February 3:

- The 7th Annual Soulard Mardi Gras Ball will kick off the festivities at the Washington University Club Center Tower. Tickets are \$25.00 per person, and can be purchased at any participating Soulard establishment. Ticket price includes a buffet, a dance band, and 3 (three) drinks per reveller. A table for eight may be reserved by buying a block of tickets. Coat and Tie, Formal Attire, or a Costume are required dress. For more information call 621-7032.

Saturday, February 4th:

- The Sixth National Cajun/Creole Cook-Off will take place from 8:00 a.m. to 1:00 p.m. Judging will include both pro-

fessional and amateur categories.

- "Taste of Soulard" is your opportunity to sample Cajun and Creole dishes in each of the participating Soulard establishments. It runs from 10:00 a.m. to 3:00 p.m.

- At 3:00 p.m. get ready as the streets of Soulard come alive with this year's Gala Event. The 1989 Soulard Mardi Gras Parade! The Grand Marshals for this year's event will be the personalities of KSD Radio. A review of floats and an awards ceremony will begin at 2:00 p.m., with the parade beginning at 3:00 p.m. The parade route will be the same as last year's. It's not too late to enter your organizations float in this year's parade. Don't miss the bandwagon. Call 621-7032.

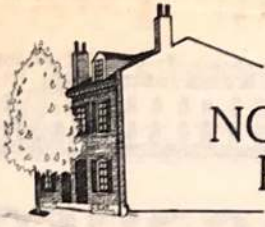
Fat Tuesday, February 7th:

- The Second Annual Soulard Jazz Dollar Parade will take place on the streets of Soulard at 8:00 p.m.

So if you like to eat goood food, listen to Dixieland, Blues, Jazz, Cajun and Rock music, and watch parades, then I suggest that Ya'll get on down here for the Soulard Mardi Gras and have a hound-dog of a good time.

We G-U-A-R-A-N-T-E-E!!!

For further information on any of the events, please call the Soulard Business Association at 621-7032.



NOTES FROM THE BRICK HOUSE

Every year, following the election of officers and directors, the Souard Restoration Group Board of Directors participates in long-term planning sessions to establish activities and goals for the upcoming year. Once activities and goals have been identified, a budget is developed for presentation to the membership at our January meeting.

There are several goals for this year that I would like to discuss. First, it was generally agreed by Board members that residential redevelopment of the Souard Historic District had progressed more rapidly than business development. While Souard has many excellent bars and restaurants, there are relatively fewer of the other types of commercial businesses that make living in an urban neighborhood convenient.

Because of that, the Board decided to establish a "Business Development Committee." This committee will serve as liaison between the SRG and the Souard Business Association. It will also work to redevelop areas in Souard suitable for business development: areas on 9th Street close to Souard Market, 7th Street, the 12th and Russell area, as well as other commercial storefronts throughout the neighborhood. We should all give a hearty "thank-you" to Barbara Marshall for agreeing to chair this new committee, and Phil Willman for serving as the Board liaison.

Another high priority identified in our annual planning was increasing the emphasis we place on membership development and activities. And already the Membership Committee (which has been merged with the Special Events Commit-

tee) is meeting regularly, and has identified an ambitious (and fun) agenda for the upcoming year. Jan Grace and Terri Wilson have agreed to co-chair the Membership Committee, and Hilda Besand is serving as the Board liaison. For several years, we have identified increased membership activities as a high priority for the SRG. This year, thanks to Jan, Terri, and Hilda, it is already clear we will successfully address this priority.

The last goal I would like to discuss is SRG's completion of our proposed revisions to the historic code. During the past year or so, there has been much confusion, and perhaps some fear, generated by this issue. Let me assure all residents of our neighborhood that the SRG does not want to make the code more difficult with which to comply. In fact the contrary is true. The principal reason we are proposing revisions is to make sure that the code is simple to understand and internally consistent. In addition, all property owners should be assured that the code does not force them make changes in their property. The code only comes into play when property owners want to make changes or alterations in the exterior condition of their homes or businesses.

Lastly, back to membership activities. One goal is that no month should go by without some kind of occasion for all of us to get together and have some fun. February is Mardi Gras month — which means parade activities, parties, and an appropriate (?) level of debauchery. Mardi Gras always reminds me of one of the primary advantages of life in Souard — you can walk — not drive — home.

'EDITOR'S CORNER'

With the first issue of the *Souard Renaissance* behind us, and the second issue here, I'd like to take this opportunity to address some new production dynamics.

Technology in the form of computer design and layout has now been incorporated into the production of our newsletter. The main advantage of this is much more flexibility in the layout phase of production. This allows us to adapt articles in such a way as to enhance readability and appearance.

The disadvantage of this system is that it doesn't easily accommodate post-deadline submissions. In the past, we were much more able to work around late articles. (Although it has never been an easy task!)

A way to work around this is to plan future issues and articles well in advance. Being a procrastinator myself, I truly understand the pressure involved in getting articles in on time. Work and family obligations as well as rehab projects take their toll on time allocated for writing.

We appreciate our contributors. If you have a lengthy or involved article in mind and don't think you have time to finish before the next issue, please let me know and we'll plan on printing your article in a future issue. Your articles are important to us!

Ideally we would like to get most of our articles one month prior to the issue date. Issue dates for the year are as follows: **February 1, April 1, June 1, August 1, September 15, and December 1.** The September issue is usually adjusted to coincide with the fall house tour.

Very short articles as well as news items can be submitted as late as two weeks prior to issue date, as long as we know they are coming. The deadline for ad copy is two weeks prior also.

The *Souard Renaissance* is quite unique from other newspapers because it is put together on a volunteer basis. This includes writers, photographers, ad managers, distribution, and, of course, the editorial staff. The only thing that is paid for is the layout and printing, and that is a break even proposition.

Our goal as a neighborhood magazine is to promote Souard as a place to live, work, and play. If we can develop a smooth mode of production, we will ensure the paper's existence into the future and not cause any hardship on the people dedicated to getting this publication out.

The copy deadline for the next issue is **March 1, 1989.**

Thanks, and we'll see you next issue. ...

Dave Lester Jr.
Editor

Letters to the Editor

To the editor:

I am assuming you have renamed your paper *Souard Renaissance* from the former *Souard Restorationist*. Since there is a renaissance would you kindly in future issues not refer to "The Allen Market Lane Apartments" as "The Hat Factory"?

The aforementioned apartments were opened and occupied in 1981 — seven years ago. The building hasn't been operated as a hat factory for decades and since I've been an occupant, since it opened, I heartily resent the apartments' being referred to as "The Hat Factory."

On page 8 of your Holiday Parlour Tour issue there was a picture of some of our residents (I am not in the picture) at a dinner at "The Hat Factory."

It has been referred to in other issues as

a hat factory, and, I think, personally, after all these years "Allen Market Lane Apartments" sound ever so much nicer and that is the name of the building.

Name Withheld By Request

You are absolutely correct in that the present name of that location is "Allen Market Lane Apartments." "Allen Market" refers to a two and a half story market building which existed on that very site well over 100 years ago, prior to the manufacturing facility. I will be glad to refer to the same as the "Allen Market Lane Apartments" in the future.

Editor

To the editor:

Our family has been living in Souard for many years now. We own our home and we want to stay in Souard. We have maintained our home fairly well over the years and it's not in bad shape. We are proud to live in a historic place like Souard. It's taken some time, but many of us ordinary residents have finally accepted the historic code as it now stands. Nobody can disagree that Souard is much more beautiful than ever, but there is something that I don't understand. Why do you want to change the code and make it longer and thus more restrictive when it's already working wonders? How many of your SRG members have unfinished homes that this code would affect?

Name Withheld

I'll have to refer this one to the code and membership committees.

Editor

To the editor:

Does the Souard Restoration Group have any plans for another Arts and Crafts Fair like they had at the 1981 House Tour?

Gladys E.



The Souard Renaissance

"The Neighborhood Magazine of Historic Souard"

The *Souard Renaissance* has a circulation of 6,000 and is published every two months by the Souard restoration Group. It is distributed in Souard and St. Louis area businesses and our advertisers.

Call 771-5563 for information and to place ads. Letters to the Editor and articles are appreciated. Copy deadline is one month prior to the date of issue; ads are due 15 days prior. Address correspondence to:

The *Souard Renaissance*
P.O. Box 13312
Souard Station
St. Louis, MO 63157

Editor: Dave Lester, Jr.

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Business Manager: Thelma Hemmen

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Contributing Photographers: Jan Grace, Jay Gibbs, Dave Lester

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CALENDAR

February-March 1989

- February 1**
SRG Membership Meeting — 7:30 p.m., Trinity Lutheran Church, 9th and Souard.
- February 4**
Souard Mardi Gras Parade — 2:30 p.m.
- February 6**
Fundraising Committee meeting — 7:00 p.m.
Membership Committee — 7:30 p.m.
- February 8**
Residential Promotion Committee meeting — 7:30 p.m.
Business Development Committee meeting — 7:30 p.m.
- February 18**
Souard Renaissance Committee meeting — 9:00 p.m., Souard Bar and Restaurant, 7th and Souard.
- March 1**
SRG Membership Meeting 7:30 p.m., Trinity Lutheran Church, 9th and Souard.
- March 5**
Fundraising Committee meeting, 7:00 p.m.
Membership Committee — 7:30 p.m.
- March 8**
Residential Promotion Committee meeting — 7:30 p.m.
Business Development Committee meeting — 7:30 p.m.

Beautification Committee Plans for 1989

by Paul Kjorlie, Chairman
Your 14-member Beautification Committee, SRG's most active, has many projects planned for 1989.

First, and foremost, will be planting another 250 trees this fall. This on the heels of this past fall's successful planting. The committee thought it might have

some time to catch its breath, but SRG's dynamic President **Rod Wright** is a stern taskmaster! The committee looks forward to smoother sailing this fall as it appears that most of the program's initial bugs have been worked out with the city.

Paul Kjorlie, the Beautification Committee's sole chairman, states that besides

homes, this year's priority areas will be around schools, churches, businesses and factories. The committee feels that, if we're going to have factories in the neighborhood, they might as well have street trees around them.

While we won't be cutting 80 tree wells in concrete sidewalks like we did last year, we still be cutting some. If your home or business has a concrete walk around it, you'd best let us know — so you can take care of this once in a lifetime opportunity.

Be sure to clip out and mail in the form that is reprinted in this newspaper.

Bob Printz will be coordinating efforts to plant vines in certain areas of the neighborhood — hopefully during Brightside weekend this spring.

Jay Gibbs will be handling stickers for boarded-up buildings and historic plaques.

Doug Howe will investigate some of our billboards and **Dave Lester** will be creating the "Star of Souard" award plaque.

We'll continue our spring and fall clean-ups of Souard Market as well as house tour routes.

Union Electric has begun removing the unsightly flyers from utility poles in the neighborhood.

We'll also be printing a "Souard Tree Owner's Manual" for all you new parents of trees.

Hopefully committee members **Georgia "Russell Blvd." Steudle** and **Susan "Brick Puller" Shinn** will bless us this year with their enthusiasm. If you like the trees

on Russell Boulevard, please thank Georgia — she did it all by getting permission from all but one Russell Blvd. property owner. Georgia says her next project will be to sell the U.S.S. Admiral — good luck, Georgia!

If you like the many new trees on 9th Street, you can thank Souard stalwart **Vicki Renisch**. Thanks, Vicki!

Cynthia Howe (our committee's board liaison and my immediate supervisor) and her husband, Doug, went after the "difficult" owners.

Besides the trees, last year's little victories included having the Street Department revise its sidewalk standards to include adequate tree lawns. We discovered several problem areas where the tree lawn was less than the ideal four-foot wide lawn. The Forestry Division will definitely not plant trees in an area less than the three feet wide.

This year we discovered that several developers, in recent years, have constructed some tree lawns as narrow as 19 inches! SRG could spend several more thousands of dollars to cut those walks wide enough for trees. Our chairman spent many hours documenting this problem in his report to the city. This problem is city-wide and not just in Souard (witness the work on Gravois).

Speaking of Gravois, when we learned the Souard section was eliminated from the tree planting project, we successfully lobbied the city to include it. Special thanks to, Souardian and mayoral aide **Ed Bushmeyer** for his help on that!

Do You Love Living in Souard

by Jan Grace

Do you love living in Souard? Would you like to get more involved? Would you like to meet more of your neighbors? Then membership in the Souard Restoration Group is for you! The Group consists of renters and local businesses as well as homeowners. The Group brings neighbors together in a spirit of friendship, solving problems, and celebrating the rebirth of Souard neighborhood's renewal.

Besides being the home of the nation's oldest surviving farmers' market, it was the first neighborhood to be placed on the National Register of Historic Places. It is the birthplace of Anheuser-Busch, Monsanto and Falstaff. It is the site of the first Lutheran church west of the Mississippi. It was St. Louis' first apartment district. And the list goes on and on.

The Group began in 1974 and has been active in preserving buildings rather than demolishing them. Of the existing buildings, 80 percent of them were built prior to 1900. We have placed banners at

the entrance of Souard for special events ... we have planted hundreds of trees in the neighborhood ... we are placing trash cans in the neighborhood ... we work with Operation Brightside or alone on neighborhood clean-up projects.

We put on two neighborhood house tours a year and publish a newspaper, *The Souard Renaissance*. We have a fun activity every month, such as a bike tour, tennis clinic, float trip, softball, cocktail parties, etc. We are involved with the Mardi Gras celebration in Souard.

Belonging to the Souard Restoration Group can give you the satisfaction of knowing that you are contributing to living history, to the preservation of a vital part of our St. Louis heritage and to the rebirth of a neighborhood.

The general meetings are held the first Wednesday of each month in the auditorium of the Trinity Lutheran Church at Souard and 8th Streets at 7:30 p.m. The committee meetings are held at other intermittent times.

Souard Restoration Group

Do You Love Living in Souard?

Would You Like to Meet More of Your Neighbors?

THEN MEMBERSHIP IN THE

SOULARD RESTORATION GROUP

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The Group consists of homeowners, renters and local businesses. Meetings are held the first Wednesday of each month at the auditorium of Trinity Lutheran Church, 8th and Souard, at 7:30 p.m.

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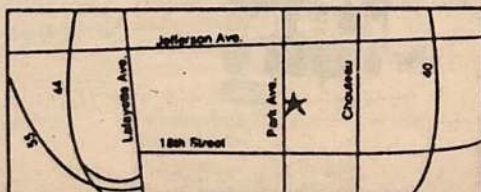
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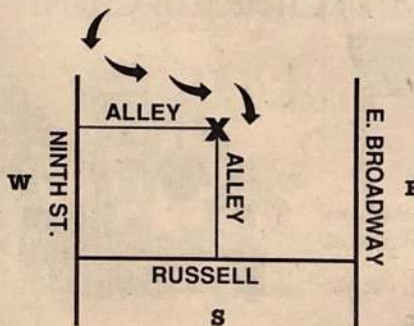


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THERE GOES THE NEIGHBORHOOD

Amateur Rehabber: The Sequel

by Jay Gibbs

After five years of writing "More Adventures of an Amateur Rehabber" for the *Restorationist/Renaissance*, last time I wrote its final episode, its swan song, its last gasp, its fini. But just when you thought it was safe to open these pages again ...!

The days of my gut rehabbing my house (with all the help I could afford, and then some) have come to a thankful end. Odds and ends of the house will take some months (years!) to complete, but my home is done enough to say so, and, well, I definitely say so.

Hence I finished off A. Rehabber. After five years, the term "Amateur" wasn't quite accurate anymore. I could have continued it as "Perpetual" or "Habitual" or "Psychotic Rehabber," but that would only have prolonged the agony.

As you can read, my new column is called "There Goes The Neighborhood!" (And I thought of the title myself, can you tell?). Under this much more flexible heading I can write about many pertinent Souldard things besides my house renovation efforts, a topic which was frankly growing rather

threadbare anyway.

It should be fun: sometimes it'll be funny, sometimes I'll preach, occasionally it'll be fiction, but usually it will be some Souldardian's story, or a little of Souldard's colorful history retold.

Many of you know of my passionate belief in saving old buildings — it is my hallmark — but the best part of Souldard is the interesting mixture of people these old buildings have attracted, and I want to celebrate that a little bit. So, that's what's coming.

I will close this article with a few observations about my new life in this nearly finished home, and the ramifications thereof. I now have two housemates, and I enjoy the company. But there have been a few unforeseen minor adjustments, such as the hot issue of hot water.

When three persons take three showers in the space of a half hour, my little 30-gallon water heater, which had led an easy, never-worked-too-hard life until now, strains to keep up the heat. It doesn't always succeed, and after having experienced "the big chill" in the shower, I am determined to have a larger, more efficient, and, of course, more expensive, water heater.

This is an issue I've never had to deal with before: is this a taste of family living?! Even without the "family," the bigger heater is a need: no one ever told me that a 110-gallon whirlpool tub would require more than 30 gallons of hot water! I have yet to try the durned tub out, but we did fill it with cold water to assure that it wouldn't leak, or explode, or fall through the floor like that scene in *The Money Pit*.

Another adjustment is having to finish installing Sandy's closet and Julie's ceiling fan before I can do the things I planned to complete. My bedroom is the least finished, the least organized, and the least decorated, and I've lived here by far the longest!

Today I hung curtains in my bedroom windows; the need became apparent when I saw passers-by on the front sidewalk watching, yelling, and waving at me last Friday night at 2:00 a.m. while I was getting ready for bed. Showtime!!! Naturally, I waved back, then turned off the lights. Minnie, the former Rehab Kitty, doesn't like the curtains; she can't watch the people watch us as they pass by, so she keeps trying to push them aside. Speaking of Minnie, she also keeps trying to sharpen

her claws in the new carpet, ending up with tiny blue fuzz pieces clinging to her feet. I guess she hasn't gotten the hang of finished house living yet, but then, neither have I.

I keep marveling how I can walk into a room designated as the "kitchen" and take food out of the refrigerator, nuke it in the microwave or bake it in the oven (yum, leftovers!), put it on dishes selected from real cabinets, sit down and eat it at my built-in bar table, then rinse the dishes in the sink, load the dishwasher, and bag up the trash: accomplishing all these tasks within five steps of each other, in the same room!

On no, ugh, I feel a dreaded, post-modern, trendy yuppie attack coming on ... AAAGHH! I wanna BMW! I wanna wine cellar! I wanna 72-channel big-screen cable TV!!! AAAARRRRGGGHHHH!! I wanna deluxe 31-attachment food processor!! I wanna "Power Lunch"!! I wanna brie pizza!!!! I WANNA PROMOTION!!!! I WANNA —

We interrupt our regularly scheduled article to bring you this selection of soooooothing, easy music ...

CUMBERWORTH'S

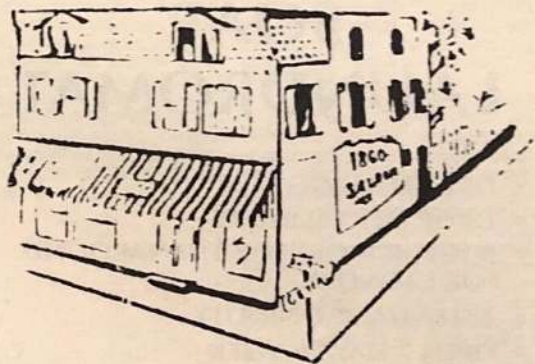
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Skip Gatermann: A Man of Stature in Soulard

With this issue the Soulard Renaissance introduces a new column which will focus on some of the people and events that laid the foundation for the on-going successes of the Soulard Restoration Group.

By profiling the people and events that made up the SRG's early years, this column hopes to bridge the gap between past SRG leaders and current SRG members. In recognizing the accomplishments of these early leaders, we can gain a better understanding of the history of our neighborhood's rebirth.

By Ed Bushmeyer

The photo that accompanies this article may look familiar to many of our readers. It appears every week in *The Neighborhood Journal*. You see, in addition to being one of the early leaders of the SRG, Skip Gatermann is also a history buff who entertains *Journal* readers with his chronicles of the St. Louis of yesteryear.

Skip and his wife, Darlene, and their infant son moved to Soulard in the summer of 1975.

Skip wasted no time getting actively involved in the neighborhood and in November 1975 was elected vice-president of the SRG. The job responsibilities of the SRG president that year required him to spend much of the year out of town, so Skip was the de facto president during

much of this, the SRG's second year of existence.

It was during this time that the SRG became involved in its first major controversy.

The Boys Club sought permission to demolish a row of houses along the south side of Victor to expand its playing fields.

The SRG opposed the demolition of the historic buildings and a lengthy and costly battle ensued. The lack of maintenance on the vacant buildings eventually took its toll, making the buildings unsalvageable and a safety hazard, and demolition permission was granted by City Hall.

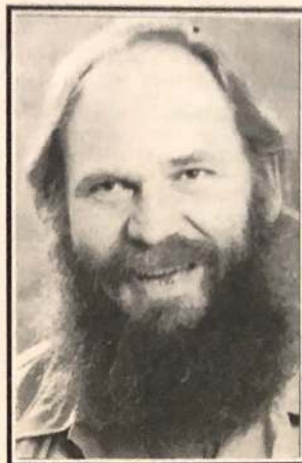
During Skip's year as vice-president, the SRG made significant headway as an organization.

The group held its first Christmas parlor tour.

The SRG established by-laws and became incorporated as a not-for-profit group under the IRS 501(C) 3 code.

This was also the first year that the SRG applied for Community Development funds for neighborhood capital improvements.

The growing organization spent much of its time preventing the demolition of the scores of vacant and vandalized buildings that dotted the neighborhood. In those days many of the vacant buildings were worth more as salvage material than as rehabable shells.



Skip Gatermann

After his hectic year as vice-president, Skip Gatermann remained one of the SRG's most active members for several years.

For five years he was the SRG liaison with the Landmarks and Urban Design Commission, the precursor of the City's Heritage and Urban Design Commission, which ruled on demolition requests and historic district code compliance.

Skip also served as the SRG historian and archivist from 1976 to 1988. Darlene has served as the SRG membership recorder for the past 10 years.

Skip and Darlene first became interested in Soulard when a fellow teacher of Skip's at Cleveland High School suggested that he prospective homebuyers look for a home in Soulard.

Resident Clark Rowley helped them with the purchase of their home at 2310 South 12th. Their home was on the 1976 spring tour, the 1984 fall and Christmas tours and numerous special tours.

Skip is a teacher at the Center for Management, Law and Public Policy, a magnet high school just west of downtown. He teaches world history and intermediate management, law and public policy. Prior to moving to the magnet school this academic year, skip taught at McKinley High School on Russell for eight years.

Darlene is a nurse at Deaconess Hospital.

Their oldest child, Tom, is now a 14-year old freshman at the Visual and Performing Arts High School, majoring in photography. His sister, Chrissy, age 11, is a fifth grader at Trinity Lutheran School on 8th Street.

In addition to writing for the *Journal* newspapers, Skip Gatermann is a freelance contributor to a number of out-of-town publications. He and son Tom are both train enthusiasts. Together they collect model trains and like to ride and photograph the real thing. Skip also collects post cards of all sorts.

Along with teaching, writing, raising a family and pursuing his hobbies, Skip is also active at Trinity Lutheran School, where he is a former president of the school's Parent-Teacher Association.

The Gatermann family was faced with a major challenge in 1987 when Darlene fell victim to Guillain-Barre Syndrome, a neuro-muscular disease which causes temporary paralysis and requires a long recovery period. A close-knit family and supportive neighbors helped them endure this difficult period.

At 6'9", Skip is easy to spot around the neighborhood. He is very friendly and always willing to share tidbits of information about the history of our neighborhood.

So next time see his picture in *The Neighborhood Journal*, remember that Skip Gatermann is one of the dedicated people who helped to make our neighborhood what it is today!

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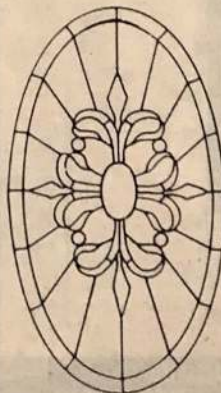
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1304 SIDNEY

Aldermanic Candidates Respond to Questionnaire

In a recent Souard Renaissance poll, we asked candidates seeking election as alderman of the 7th Ward two questions. Bill Wakefield, SRG board member, compiled the questions and conducted the poll. We originally had a longer list of questions, but due to the number of candidates at the time of the poll, we shortened it to two questions.

Three candidates, including the incumbent, are still in the race for alderman. Here are their responses to our poll.

QUESTION # 1 —

Souard is an economically and socially diverse neighborhood. What procedures, if any, would you implement to be sure that all persons and businesses located in Souard will have the same chance to have their feelings and opinions heard?

PHYLLIS YOUNG (Democrat)

As 7th Ward Alderman, respecting and understanding this diversity is a critically important part of my job. But regardless of the diversity, the most important lesson I've learned during the past four years is that — in a very basic sense — all residents generally want the same things from their city government. They want homes and neighborhoods that are safe from crime, clean and well maintained streets, good fire and emergency medical service, and clean alleys and good trash collection. All want to live in neighborhoods in which homes and businesses adequately maintain property, and to live in a city that helps those who cannot help themselves in providing the essentials of life: food, shelter, and health care.

Too often, when we disagree on how to reach these goals — which we often do in the 7th ward given our diversity — we forget that we share these basic goals. And unfortunately, disagreements lead to bitterness, distrust, and sometimes hostility. During the past few weeks, in talking to many residents and community leaders about my re-election, it has never been more clear to me that we all share a belief in what we want city government to accomplish, and that we must not allow disagreements over how to achieve these goals to undermine our commitment to work together to improve our neighborhoods.

As with many things associated with serving as alderman, experience is extremely important with respect to this issue. I've learned how to listen better. I've learned how to get things done in City Hall more quickly and more effectively. And I've learned how to get people together to communicate, share opinions, to compromise, and work together to make the 7th ward a better place to live.

TERESA LEAHEY JOHNSON (Republican)

The way to do this is manifold. A most important start is to elect an alderman who is open, honest and available to all members of the 7th Ward. Secondly, blighting, eminent domain, increased taxes for some, land grabs and other current practices have to be eliminated. Open discussions at public neighborhood meetings, not limited to any special group in Souard would be encouraged and conducted by me to bring about progressive, positive and innovative changes for all in Souard and the remainder of the ward.

BOB VOLZ (Democrat)

The 7th Ward, including Souard, is an economically and socially diverse area that needs representation of all areas of interest. The alderman should confide, seek cooperation and guidance from all neighborhood groups and business organizations and try to stimulate growth and improvement for all segments. This means the attendance of the alderman at as many meetings as possible and the availability for meeting with any group for problems or suggestions. I believe things should grow from the roots and you are the roots.

QUESTION # 2 —

Souard is a National Historic District. The SRG is formulating a revised version of the Historic Building Code and plans to present it to the City of St. Louis. The code is designed to maintain the architectural integrity of the neighborhood.

What is your feeling on such a code, and would you support it?

BOB VOLZ (Democrat)

First let me state where I am coming from: I was one of the 18 who wrote the original city-wide Historic Code. I am also a member of Landmarks, Professional Code Committee, professional member of B.O.C.A. and a member of MABOI — all of which deal with codes. I have over 40 years construction and design of housing and do not like the bastardization of our older buildings. Codes have to be a consensus and should not be unwieldy and difficult to administer. S.R.G. has shown a lot of initiative in the writing of this Revised Historic Building Code. As with all codes, it should go through a thorough review by all segments who have to live with it and administer the code. I believe there are parts of this proposed code that will survive the review and I will support the parts that survive.

TERESA LEAHEY JOHNSON (Republican)

Not having had an opportunity as of yet to see Souard's proposed code, I feel I can not give a definite answer at this time on this specific code. Architectural integrity is of great importance to me. So much so, that in my travels to historic districts in other cities, states and countries, I have met with preservation officials in many of them. One result of these meetings has been to bring copies of their codes to my neighborhood organization and some Landmarks Association board members. Due to the different agendas of the sponsoring groups, the diversity of historic codes is vast. My favorite code model is that of Savannah, Georgia. Any visitor to that city can appreciate the success it has achieved.

PHYLLIS YOUNG (Democrat)

My position on revisions to the Souard Historic District Code has remained unchanged since the Souard Restoration Group began discussing the issue several years ago. First, since there is currently a code in place that protects the historically important buildings in Souard, there is time to carefully consider changes. Second, I will work diligently to build a consensus of support within the Souard neighborhood.

I think the changes must include language that is simple and straightforward, and easy for a layman to interpret and understand. A revised code should embody current policies and enforcement of the code established by the Heritage and Urban Design Commission. And it should be internally consistent and free from contradictions.

I think it very important for Souard residents and business people to understand that neither the existing historic code, nor any form of a revised code would force them to make changes in the present condition of their house or business. The code only comes into play when changes are made in existing conditions. I also think it important for residents of Souard to know that much work is being done to create a funding source to assist low income homeowners in making improvements to their property. Having this source should eliminate much controversy that exists with respect to the historic code.

I feel strongly that the historic code should protect the physical integrity of our neighborhood and through an accompanying funding program we can provide assistance for lower income homeowners who need to make repairs to their properties.

The Souard Renaissance would like to thank all the candidates for answering our questions. Good luck in the election.

The 7th Ward has a long history of being politically active. So if you're not registered to vote, register. If you are registered, make sure you get out and vote. **YOUR VOTE COUNTS!**

A Case of Neighborhood Amnesia?

A landscaped median on 12th Street. Five cul-de-sacs. Street modifications at two locations. New sidewalks and trees on most streets. Three new parks.

Due to attrition, most Soulardians don't realize that these projects are part of the **Soulard Neighborhood Plan** adopted by the City of St. Louis in 1975.

Since the plan's creation, one cul-de-sac (which was privately funded) and new brick sidewalks were built (primarily north of Russell Boulevard). The rest of the plan remains but a gleam in city planners' eyes.

The **Soulard Restoration Plan** (commonly called the "green book") was printed in the fall of 1975. Few copies remain and the city doesn't have any for distribution.

The ideas set forth in the plan were the result of a rare, collaborative effort by representatives of the city and the two neighborhood groups in Soulard; the Soulard Restoration Group (SRG) and the Soulard Neighborhood Improvement Association (SNIA). While both SRG and SNIA have, historically, been at odds with each other over the neighborhood's direction, apparently both groups agreed on the importance of safe streets and sidewalks; adequate parks; and a visually attractive neighborhood.

Although SNIA opposed SRG's attempts to build tennis courts at Soulard Playground (9th and Lafayette), it was comforting to many that some issues could transcend neighborhood politics. Apparently,



This median, located on Geyer just west of Mississippi, is similar to a median planned for 12th street.

ently, both groups agreed, again, in the 1981 **Soulard Capital Improvement Program** update (commonly called the "red book").

Soulard, in the last half of the 1970s, saw a flurry of improvements to its infrastructure.

In north Soulard, safe, new, level brick sidewalks replaced, unsafe, old "roller coaster" sidewalks. Our majestic Bradford Pear trees were planted in openings in the sidewalks. Soulard's parks were, also, improved with additional trees; wood timber playground equipment; Eighth Street was closed in front of Soulard Market and was replaced with a brick plaza (the first of 3 intended phases) and the park's bandstand was restored. While not a part of the 1975 plan, the Victorian-style .37-acre Martie Aboussie Park (13th and Lynch) was built in 1980. (It was designed by this writer, while he was employed by the Park Department.)

Most of these projects were funded by either federal Community Development Block Grant funds or a short-lived federally funded Local Public Works program. The 1975 plan included a lone cul-de-sac that was built at 10th and Lynch and was paid for by the Anheuser-Busch Credit Union so they could expand their facility to the east.

While not a part of the original plan, the state Highway Department was forced to build a cul-de-sac at 10th and Lafayette to accommodate the widening of Interstate Highway 55.

The sights and sounds of jackhammers largely disappeared from Soulard in the 1980s. Efforts by the Reagan administration, to curb federal deficit spending, substantially reduced federal funds. These reductions, coupled with Mayor Schoemehl's desire to devote the majority of remaining funds to housing, meant that Soulard's plan would be delayed. Whatever sidewalk construction that was done, was to be done by individual property owners — some of whom were lucky to participate in a 50/50 program with the city. The owner paid half the cost and the city paid half. However, funds for this program are very limited.

A mayoral decision to eliminate brick as the "preferred" material resulted in walks being built in concrete. Some walks were "bare" grey concrete and some were, the

preferred "exposed-aggregate" finish. To this day, this mish-mash of sidewalk types has caused much consternation among neighborhood residents.

This past fall, the first major tree planting in Soulard in almost 10 years occurred. This was only because of a special program that was funded in half by SRG and the Forestry Division of the city. This program is to add 750 additional trees to Soulard streets when it is completed. Besides the cost for the 250-plus trees, SRG spent \$8,000 of its own funds to cut tree wells in concrete sidewalks. House tour funds, primarily, paid for the trees and wells.

Recently, special efforts by SRG's Beautification Committee convinced the city to restore the Soulard portion of Gravois into the extensive tree planting it received south of Soulard. The city had intended to do the two Gravois blocks north of Russell — but this Soulard portion was mysteriously dropped from the project. (Special thanks to Soulard resident Ed Bushmeyer for helping correct this oversight.)

In 1981, the **Soulard Capital Improvement Program**, 1982-86, was created through another joint effort by neighborhood representatives of SRG and SNIA and the city. This was an update of the original plan and was to be a 5-year program. The report stated that, "Much of the existing infrastructure in the Soulard neighborhood is poorly maintained and in need of replacement."

Interestingly, the program which was completed before the Schoemehl administration took office, called for brick sidewalks with a 4-foot wide tree lawn. Priority was to be given to north-south streets since most houses in Soulard front on north-south streets. It was thought that the most good could be achieved by doing those streets first. Only the 7th and Lami cul-de-sac was included in the report. By 1986, the work was to be completed.

The neighborhood planning committee which was to meet annually, each spring, hasn't met since. Soulard resident John Soderberg, who was on the committee, states, "I'm disappointed that the program has been shelved and that the limited funds that remained have been spent in other neighborhoods of the city."

During the 1980s, through Operation Safestreet, there was a brief attempt to create some of the cul-de-sacs. It was decided to try to get the 7th and Lami cul-de-sac and the street closing at 12th and Geyer.

While the 7th and Lami petitioning encountered problems, Soulard resident Tom Cochran obtained over 40 signatures of residents near the dangerous 12th and Geyer intersection. A public hearing was held at Trinity Lutheran School. Although three opponents to the Geyer changes (including then-owner of Mike & Min's — Stuart Browner) were at the hearing, the elected officials who were present agreed to proceed with the necessary ordinances.

Apparently, 7th Ward Alderman Sorkis Webbe, Jr. didn't follow through and

See AMNESIA, page 9

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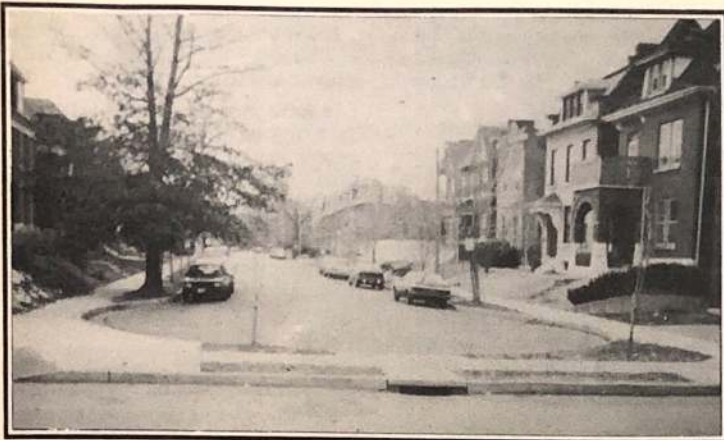
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This cul-de-sac, located at California and Accomac, is a typical design used to limit traffic access.

• Amnesia from page 8

nothing was heard again.

Recently, SNIA unsuccessfully attempted to resurrect the Geyer project.

A few years ago, the east-west streets of Lami and Barton received new curbs and sidewalks. This was a specially funded project and the decision was, apparently made **not** to do north-south streets. Souland lost several, historic limestone gutters in this project.

A spokesperson for Mayor Schoemehl blamed the lack of federal funds for the general inactivity in Souland public improvements.

Souland resident, Alderman Phyllis Young, stated, "money isn't the only problem. Neighborhood consensus must

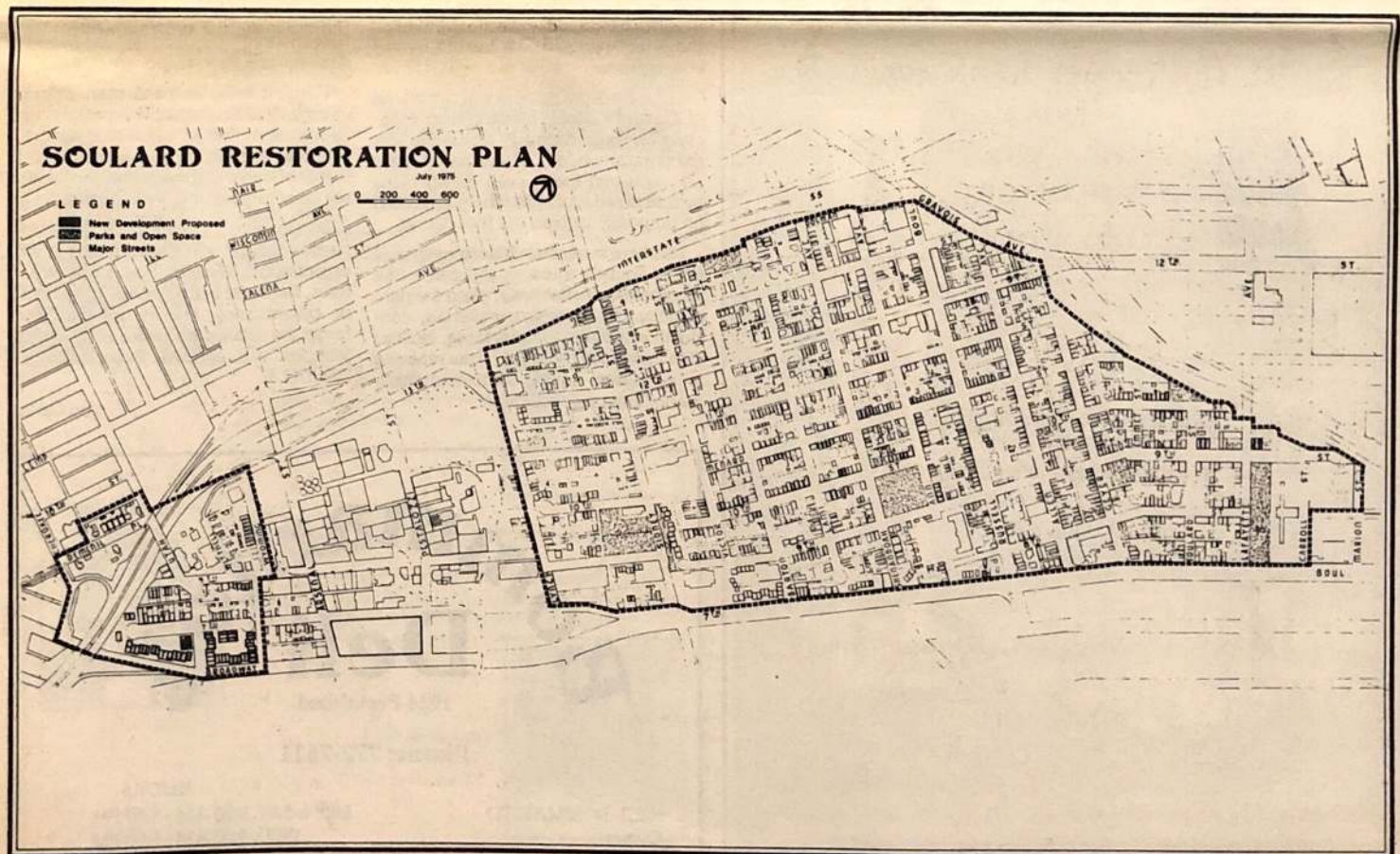
be achieved. There are many differing opinions as to public improvement priorities."

Whatever the reasons, completion of Souland's neighborhood plan is a long way from reality.

EDITOR'S NOTE: The writer, Paul Kjorlie, is a self-employed landscape architect (*Historic Gardens*) and has been a Souland resident for 14 years. Besides designing many of our neighborhoods park improvements, he has actively worked, over the years, to secure funding for many public projects in Souland.



Bruce and Michele Rehkop received the beautiful door prize from the recent Souland Holiday Parlour Tour. Their name was drawn from the 1,200 names of tour-goers. The crystal ice bucket was donated by Nancy Daniel (left) of the Irish Crystal Shop at 1901 Park in Lafayette Square. The newlywed couple exclaimed, "We have considered moving to Souland, now I guess we'll have to."



LEST WE FORGET

A Commentary by Jay Gibbs



The building at 1723 S. 7th reportedly, "fell through the cracks" and was mistakenly demolished.



This building at 1713 S. 7th caught fire three times before it was damaged enough to be razed.

Look at these two photos: remember these? The two shells pictured, at 1713 and 1723 South 7th St. are gone — both were demolished in 1988. Look at them again. Both were dilapidated, vacant shells — neighborhood eyesores — for some time before their demise, and would have needed major work to bring them back. Look at these two pictures one more time and ask yourself, has the Souland Historic

District been improved by the leveling of these structures?

In the last year or so I have heard a small but ever-increasing chorus demand that we rid our neighborhood of the remaining "eyesores"; it is this group that would answer "yes" to the question I just posed.

These people no longer see the lightning-fast tax credit-driven rehab boom of

the mid-1980s, and deprived of that instant gratification, they have lost patience and vision. These people are frequently more concerned with the "look" of Souland than with preserving history, and this, in my opinion, completely misses the point of saving Souland in the first place.

Lest we forget, Souland wasn't saved by professional "experts" and developers; Souland was saved by a rag-tag assemblage of idealists, preservationists, and craftspeople whose common characteristic was the willingness to put their beliefs on the front line, to purchase and rebuild dying properties in what was a slum, to care enough to DO what others only talked or dreamed about.

Their progress was the foundation on which organized companies and others built, using the various financial incentives of profit and tax shelter.

It's important to remember that if the "experts" of 20 years ago had their way, Souland would now be an industrial park.

This is history we're talking about! These structures have weathered a century or more, a civil war, two world wars, a great depression, misguided urban renewal efforts, storms, earthquake tremors, fires, and vandals. And they're still standing. That says a lot, but not enough.

I advocate that you skeptics stand in front of, or even inside of, a building shell and try to use your imagination, to think of all the people whose walls and that roof have sheltered, all the lives that have but briefly touches the place, the hopes and disappointments and laughter, yes, all that Norman Rockwell-type stuff.

Demolition cancels such old echoes as it destroys physical architectural artifacts. If those sentimental words haven't moved you, try these.

I have made it a point to visit virtually all of Souland's shells, concentrating especially on those deemed "unsavable" by the popular wisdom. I have paced them off, measured them, even drawn plans and calculated aggregate rehab costs based on purposely high square foot figures.

I am here to say that virtually every shell left in Souland could — and can — be renovated cost-effectively, given the right combination of design, materials, construction technique, and end use. Notice I didn't say "high profitably"; I am referring to a modest return, something many cannot fathom or tolerate?

Before you scoff, I suggest that you take the time to gain the knowledge, and do the research and design, that I have.

I want to go one step further. Starting in the next issue of the *Renaissance*, I will write a regular piece featuring one of these "orphan" shells no one wants. With photos, design drawings, and cost and revenue calculations, written in easy to understand form, I will prove my above contention, and in the first few articles, will tackle the worst, most rotten, crumbling, supposedly unsavable wrecks in the neighborhood.

Maybe these paper plans will not only open a few minds, but will sell a few shells too, which brings me to my last point.

I, and other "rehabber types" in Souland (those with firsthand renovation experience) would really appreciate it if those without this kind of knowledge would refrain from making pronouncements on the subject. I wouldn't presume to make off-the-cuff declarations about their jobs or interests, and I have grown sick and tired of hearing "That building can't be rehabbed!" from some armchair renovation "expert." In a word, "SHADDUP!", and let those who are qualified make those determinations.

Souland wasn't built overnight, and she hasn't been rendered a finished, gorgeous neighborhood overnight either. When one deals in such history, one must necessarily take a longer view: have a little patience, have a little vision!

Remember, the house in which you live may have once been the one that "couldn't be saved."

All the remaining old house shells in Souland should and can be preserved, "warehoused," propped up, or whatever it takes, until their saviors are found.

The first thing we need is an attitude change. Specifically the SRG must change its role from that of helpless bystander, belatedly reacting to demo permit crises, to that of leader and innovator, proposing solutions instead of wringing hands.

Fortunately, it appears that this long-needed change is finally beginning in the organization. We may lose a few structures, like those in the photos, to bad luck or circumstance, but let not the SRG forget the active purpose for which it was founded. We can save these buildings, let's DO it!

Jay Gibbs



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SOULARD SOUND

by the Roving Reporter

What do you want for Valentine's Day?

Barbara Marshall
Branch Manager

A single man who is about 6'2", beautiful smile, sparkling eyes, loves Labradors and walking them in the evening.



Jeff Gering
Professional Graduate Student, SLU
An anchovy pizza.



Cindy Howe
Biker/Accountant

I don't want to comment because I think Valentine's Day is a sappy holiday.
(You'll have to excuse her, she's married. R.R.)



Richard Eaton and John Durnell

Well xxxxxx. (Censored, this is a family newspaper. R.R.). To see Cecelia in a red dress and a pair of 5-inch black stiletto CFM shoes.



Cindy Harrison

House Parent for Shelter the Children

A bottle of Dom Perignon, a box of Godiva chocolates, a dozen long stem red roses, and the man who can afford them.



Dan Prater
Exhibit Designer

A 5'10" blonde who likes artists and Victorian homes.



Mary Sheridan
7-year Soulard Resident
A totally rehabbed third floor.



Hilda Besand
Drumbeater, Mouthpiece, Tub-Thumper, PR Flake

A romantic dinner for two, with the man of my choice, at the restaurant of my choice. And yes, I've already decided on the man and the restaurant.



Phil Willman
Lawyer
Which restaurant?



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Hostel Happenings

by Pete Grace

From the Huckleberry Finn Youth Hostel — 1904-06 South 12th Street, as reported by Tom Cochran, Manager

In November, the hostel did just over 200 overnights — nearly double the business they did a year ago. At \$9.00 each overnight, this pays for gas and electricity and other expenses. Winter is a "break even" proposition here — basically a service to the budget traveler.

As usual, there were visitors from all over — 24 countries and 21 states — with Germany, England and Australia the top three countries; Michigan, California and Illinois the top three states. Men are 3- or 4-to-1 more frequent than women.

Interesting visitors of late:

- A church group of eighteen men and women from Michigan attending a Methodist Conference at the convention center.

- A young man from Mexico who spoke no English. His uncle later joined him and he spoke both English and Spanish. This was a struggle for Tom.

- Several couples were hosted in the "overflow" dormitory where there are a few private rooms. One couple were biochemists from Mainland China moving from Ohio to California on a teaching fellowship.

- Several visits from a young woman from Belleville, Ill., who is an epileptic but likes to stay at the hostel every so often on a "work exchange" — she cleans the

dorms and kitchens in exchange for the overnight fee.

- Back luck for two Norwegian boys who came by train between Christmas and New Year's. They did their own "Soulard Pub Crawl" and ended up breaking a hostel window and making a general mess. Tom asked for cleanup and replacement money ... and they paid apologetically. (We all know what SOULARD means in French.)

- The hostel has been getting a lot of referrals from the Downtown YWCA and from the "LET'S GO USA" guidebook.

- Hosted a young man in training to be a bell captain at the downtown Marriott. He stayed for a full week ... and we later learned that he got a permanent position after training and bought a house in the Benton Park neighborhood.

Tom Cochran asks that we Soulandians talk to Hostellers if we see them in the neighborhood, give them rides downtown if possible (I have). Let's impress these visitors with our hospitality.

In February and March the hostel will be completely repainted, inside and out. After eight or nine years it does need it! Also, the new office space at 1902 South 12th is slowly being re-worked. This will be the future registration area and travel store.

The yard space in the rear is being redone in brick pavers ... and a hot tub will be added this summer.

GRAND PLANS: Potluck international dinners planned for the spring and summer months.

GATEWAY to the OZARKS



Have you ever wanted to experience the thrill of hiking the Adirondacks in upstate New York, llama trekking through the Pecos Wilderness Area in New Mexico, snorkeling off the shores of Cancun, Mexico or by cycling through the heart of Europe. Information about these and many other opportunities for world travel and outdoor recreation can be obtained right here in Soulard at the Ozark Area Youth Hostels, Inc. (OAC/AYH).

Beginning in March, a variety of special events will be featured in the annual Special Events brochure, a poster-size schedule of events presented by the Ozark Area Council. The brochure will provide information on 48 distinctive outdoor activities.

Now to the 1989 calendar will be opportunities to bicycle across the state with hundreds of other bicyclists on CAMP — Cycle Across Missouri's Parks.

Participate in a four-day float down the North Fork River, known for its refreshing flow of clear water from large cold springs, or backpack the Ozark Trail on a week-long trip over one of the nation's newest trail systems.

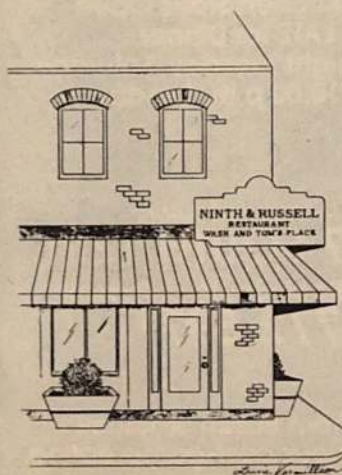
Membership and travel information can be obtained by stopping by the Ozark Area Council office, 1908 South 12th St., or calling (314) 421-2044.

The office hours are Monday, Tuesday, Thursday, and Friday, 12:00 noon-5:00 p.m.; Wednesday, 4:00 p.m.-7:00 p.m.

Attend the "How to Take a Hosting Vacation" informational meeting on Wednesday, February 15 at 7:30 p.m. at the American Lung Association of Eastern Missouri in South St. Louis or ask for a copy of the World Adventure trips Catalog to discover a variety of travel opportunities.



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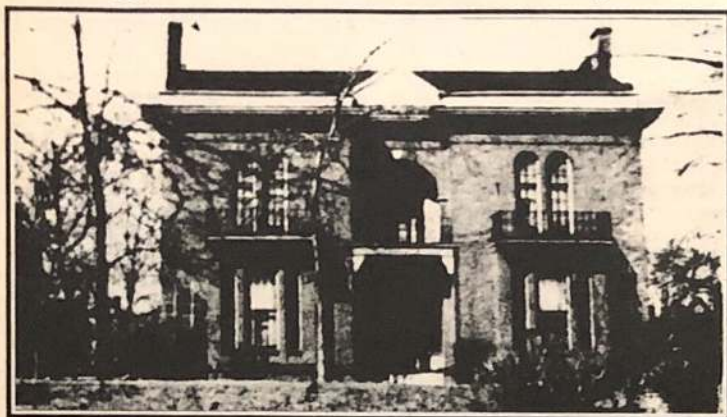
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The Group consists of homeowners, renters and local businesses. Meetings are held the first Wednesday of each month at the auditorium of Trinity Lutheran Church, 8th and Soulard, at 7:30 p.m. Come join us!

Original St. Luke's Hospital



by Mary Jo Warren

On many occasions in the past four years the original location of St. Luke's Hospital has been pointed out to me to be on Lami where it meets 13th Street on a vacant lot. Even though the now gone buildings were standing at the time of the writing of Historical St. Louis by Compton and Dry in 1875, the actual location of the original hospital was 2345 S. 13th. At that time S. 13th Street was known as Summer Street, which I think might add to the confusion about its location.

The actual structure utilized was a southern mansion of 25 rooms built in 1850 by Joanna Roberts of Sumpster County, Alabama. Whenever you hear about the Roberts Mansion, you know the reference

was to this location which included two and one-quarter acres of land. Joanna later gave the property to her son, Elbert G. Roberts, a wholesale grocer who moved to Litchfield, Connecticut in 1866 and leased the property to the founders of St. Luke's Hospital. It's interesting to note that the terms of the agreement were a leasing cost of \$2,000 per year with the option to buy the property for \$35,000. Based on the sale of other properties in the Souland area, this was not an unreasonable price.

The idea for the establishment of St. Luke's Hospital was the result of a conversation held in the home of Edward Mead with a few friends who had gathered there on a Sunday Afternoon in November, 1865. The conversation was a direct result



of the visit of Rev. J.P. Cannon, M.D. of Memphis, Tennessee, who, as a physician, was in favor of the establishment of the same. The group of individuals involved, all of whom were Episcopalians, resolved itself into the "St. Luke's Association" with the aim of establishing a hospital for the sick and for furthering other church work. The building at 2345 S. 13th was selected for this purpose, leased and renovated. Rev. J.P. Cannon, M.D. was chosen as the hospital's first superintendent.

The hospital officially opened its doors to its first patient February 28, 1866. During the summer of 1866 a cholera epidemic dealt a heavy blow to the City of St. Louis. Typical of the spirit of helping others, the board of directors held a special

meeting in August, 1866, at which the decision was made to open the institution's door for free treatment of cholera patients during the epidemic. Conjecture alone can tell us how many souls were treated at this location.

Initially, attempts were made to purchase the land at 2345 S. 13th. But, after three years at this location, the decision was made to move to the corner of 6th and Elm because of the inaccessibility to surgical patients brought in by rail at the Souland location.

After St. Luke's moved in 1870, the building served as a residence until 1946 when it became a rooming house. Sadly, the building was destroyed by fire in 1969 and, subsequently torn down.



728 Lafayette

"In the Shadows of
Souland Market"

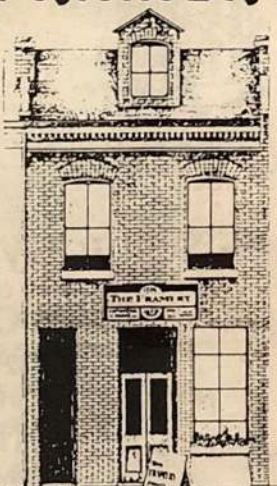
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Remember When...

by John H. Soderberg

The increasing number of babies born to Souard parents over the last several years is, to those who study such matters, a positive indication of a healthy, growing neighborhood. Noting this development, I was reminded of the advances of modern medicine whereby today's woman in labor is whisked off to a hospital to be attended by a large staff, with the new mother usually returning home two or three days later.

Knowing that childbirth was not always handled in this manner, I thought it might be of some interest to note the differences between today's practices and those of a turn-of-the-century Souard mother-to-be. And there were differences, indeed. The most significant being that 90 percent of the babies born at that time were born at home with only a midwife in attendance.

Research turns up some fascinating statistics about midwives: In 1895, St. Louis was home to three midwifery colleges:

The Missouri College of Midwifery and Lying-In Institute;

The Dr. Carpentier College of Midwifery;

The St. Louis College of Midwifery — which offered a five-month course of instruction in both English and German. Its founder, Dr. A.A. Henske also published a monthly journal titled *American Mid-*

wife.

There were 303 midwives in St. Louis with approximately 15 percent of them (43) in Souard. Additionally, for reasons perhaps related to the original location of the old St. Luke's Hospital at 13th and Lami (see related story), the area encompassing a several block radius of 12th Street and Lami became somewhat of a medical enclave. Clustered in that areas



Dr. Arzt — 12th and Lami

were five doctors, including Dr. Arzt at 12th and Lami as well as seven midwives, including Anna Backer at 1229 Lami and Anna Burger at 2300 South 12th Street.

Three significant factors contributed to the use of midwives. The first and most import was economic. The average physician's delivery fee in 1900 was \$15.00 to \$25.00 whereas a midwife charged about \$8.00 for her services, which included assisting the actual birth and caring for mother and child afterwards.

Secondly, Souard was a community of European immigrants who tended to prefer midwives since that was the Old Country tradition. European midwives were usually well-trained and held respected positions in their communities. Additionally, they spoke the language, whereas some male doctors might not be able to communicate in anything but English.

A third factor was that immigrant families employed midwives because there was a "strong sense of shame associated with permitting a man to attend a woman in confinement."

After World War I, the use of midwives declined rapidly in the United States. A number of reasons for the decline can be identified. Among them were reduced cultural ties to European traditions, a surplus of physicians, as well as increased earning power among the labor force. The decline in midwife use in Souard was as dramatic as elsewhere. By 1948, St.



2309 South 12th

Louis listed only 28 midwives with just one in Souard — as Mrs. Isabella C. Kling at 2309 South 12th Street. Today there are none.

While the circumstances surround the birth of today's children may be different, they still share in, and are part of, the customs and traditions of the neighborhood. Souard has endured and will always endure through its people — young and old.

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Neighborhood Fabric



These Civil War-era, multi-family rowhouses (at left, and below) pre-date their Victorian, single-family neighbors in the 2300 block of South 13th Street. In their ante-rehabbed condition these shells loomed as a depressing reminder of less prosperous times in the Soulard neighborhood, but since having been rehabbed by Mead McClellan, the rowhouses have regained their classic dignity and retained their purpose as apartment houses. From neighborhood eyesore to neighborhood pride: that's the result of a quality, historically sensitive renovation.



This badly dilapidated alley house (below) at 2215 South 10th Street, recently acquired by the same developer, faces a much less certain fate. This particular small flounder house is an unusual structure: instead of solid masonry, the walls consist of vertical wood beams with brick filling the spaces between, and covered by cypress siding. It's probably the oldest standing structure in Soulard, and it awaits a savior. We hope **this** story has a happy ending, as well.



Photography by Jay Gibbs
and Mary Jo Warren

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2739 ANN

Home and income. Large 2-family flat, 2-car detached garage. Priced right.

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814-18 GEYER

Great investment opportunity. 3-story gutted shell with 3 city lots partially landscaped. Zoned commercial, built up from alley with parking.

1231 SIDNEY

A lovely 2-family in Souard. Rehabbed with 2-car garage. Home and income in great area. Second floor townhouse unit has 2 baths.

27XX SALENA

Senate Square area. Owner may consider some financing for qualified buyer. Mother-in-law quarters on first floor.

21XX WAVERLY

Create your own landmark. Large mansion in need of total rehab. Extra lot on side.

19XX SIDNEY

How to make living less taxing. This 2-family could provide you with a home with rental income. Historic Senate Square area.

Up to \$100,000

32XX GEYER

Lovely home with woodwork in historic Compton Hills area. Needs some structural work but priced well below similar property in area.

1323 SHENADOAH

Three stories of contemporary living space with a 28'x14' master bedroom with large bath and dressing area. Buyer's choice on carpet color.

1929 SOUTH 9th STREET

Unique 1-bedroom townhouse with all the modern conveniences. Priced right! First time home buyer low interest rate available.

2350 SOUTH 10th (Rear)

An alleyhouse perfect for that first time home buyer.

2320 SOUTH 9th STREET

Attractive 2-bedroom, 1.5-bath townhome with beautiful wood floors. Seller will pay up to \$1,500 in closing costs. Rapidly improving block.

1841 SOUTH 10th STREET

This is a 4-family with long time tenants. Could make two excellent townhouses conversion.

2308 SOUTH 12th STREET

This rehab property features large rooms and loads of open space just waiting for your finishing touches.

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1848 SOUTH 10th STREET

Total rehab — all new systems. This also includes a gutted alleyhouse and large 2-car garage.

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22XX MENARD

Live in a landmark in historic Souard. Completely renovated, flounder style home. This home is finished!

18XX MISSOURI

City sophistication with Victorian elegance. No down payment — try lease purchase. All systems updated. Motivated seller.

18xx HICKORY

Lafayette Square rehab. Open floor plan, heat pumps, skylights, etc. Price reduced. Lease purchase available.

808 GEYER

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